

# Residential Masonry Wall/Fence

## Quality Submittal Guidelines



This packet applies ONLY if:

- The proposed walls/fences are less than or equal to 6' high
- This property is NOT within the Cactus Corridor (Loop 101 to FLW Blvd, Shea to Thunderbird)
- For properties in the ESL area where the wall locations and details are approved on the subdivision grading & drainage plan.

## General Information for Walls/Fences

**PLEASE NOTE: This packet includes minimum requirements for the construction of residential walls/fences for non-ESL lots, and walls/fences not located within the Cactus Corridor.**

**Stepping through the approval process:**

**PLAN REVIEW → PERMIT → INSPECTIONS**

### 1. PLAN REVIEW

- **Provide 3 site plans** (see example and attached minimum requirements). *Incomplete site plans will not be accepted.*
- **Provide copy of wall detail** to be used for construction. The attached standard building plans are for your use. Note: The wall height dimensions cannot exceed the detail as shown.

### 2. PERMIT

Please note the following requirements for obtaining minor addition, remodel, or wall permits over the counter:

- Plan review fees, if required, must be paid for the same day the plans are reviewed or submitted for review. This is true whether permits are issued that day or not.
- Permits can only be signed for by property owners or licensed contractors. All other persons involved with the project (including but not limited to relatives, architects, designers or construction managers) must have a statement signed by the property owner naming who has permission to sign and receive documents on the owner's behalf to obtain plan reviews and building permits at the City of Scottsdale
- On permits not listing a licensed contractor, an owner-occupied single family residence property owner can do the work themselves or act as their own general contractor and hire subcontractors to do the work. When choosing to do the work themselves, or to act as their own general contractor, the property owner or designee (see item above) must sign the "Owner-Builder Declaration form" required by the Tax Audit Division of the City of Scottsdale. For detailed information about this form call 480-312-2400 or visit [www.scottsdaleaz.gov/taxes](http://www.scottsdaleaz.gov/taxes).

### 3. INSPECTIONS

- An inspection card will be issued detailing the required inspections. The typical inspections are: footing, masonry grout, masonry bond beam, and final inspection. Note: actual inspections may vary depending on your project.

### Additional Information:

- A building permit is required for the construction of new walls/fences, taller than 3 feet, including wood & corral fencing, adding additional height to an existing wall, or repair of damage to an existing wall (i.e. vehicle accident).
- Wall/fence height is measured from inside of enclosure from natural grade.
- A courtesy site plan review is recommended for walls 3 feet tall, or less, to verify location is compliant with the Zoning Ordinance and does not conflict with any easements.
- Walls/fences, including the associated footings, are permitted to be constructed on/or within property lines. If the wall/fence, including associated footings, is proposed to be constructed on the property line, written neighbor authorization is required. (see attached) The City does not get involved in property line disputes related to fence and footing locations, or fence ownership. These disputes are civil matters and must be resolved between the concerned parties.
- If a wall/fence is proposed within a public utility easement, written authorization is required from each utility company at the time of plan review. (see attached)
- **ABBREVIATIONS: O.C.=ON CENTER, C/L=CENTERLINE, BSL=BUILDING SETBACK LINE, P.U.E.=PUBLIC UTILITY EASEMENT**

**Questions? 480-312-2500**

# SITE PLAN

\*\*EXAMPLE ONLY\*\*

ADDRESS:

APN:

Q.S.:

SUBDIVISION:

LOT:

ZONING:

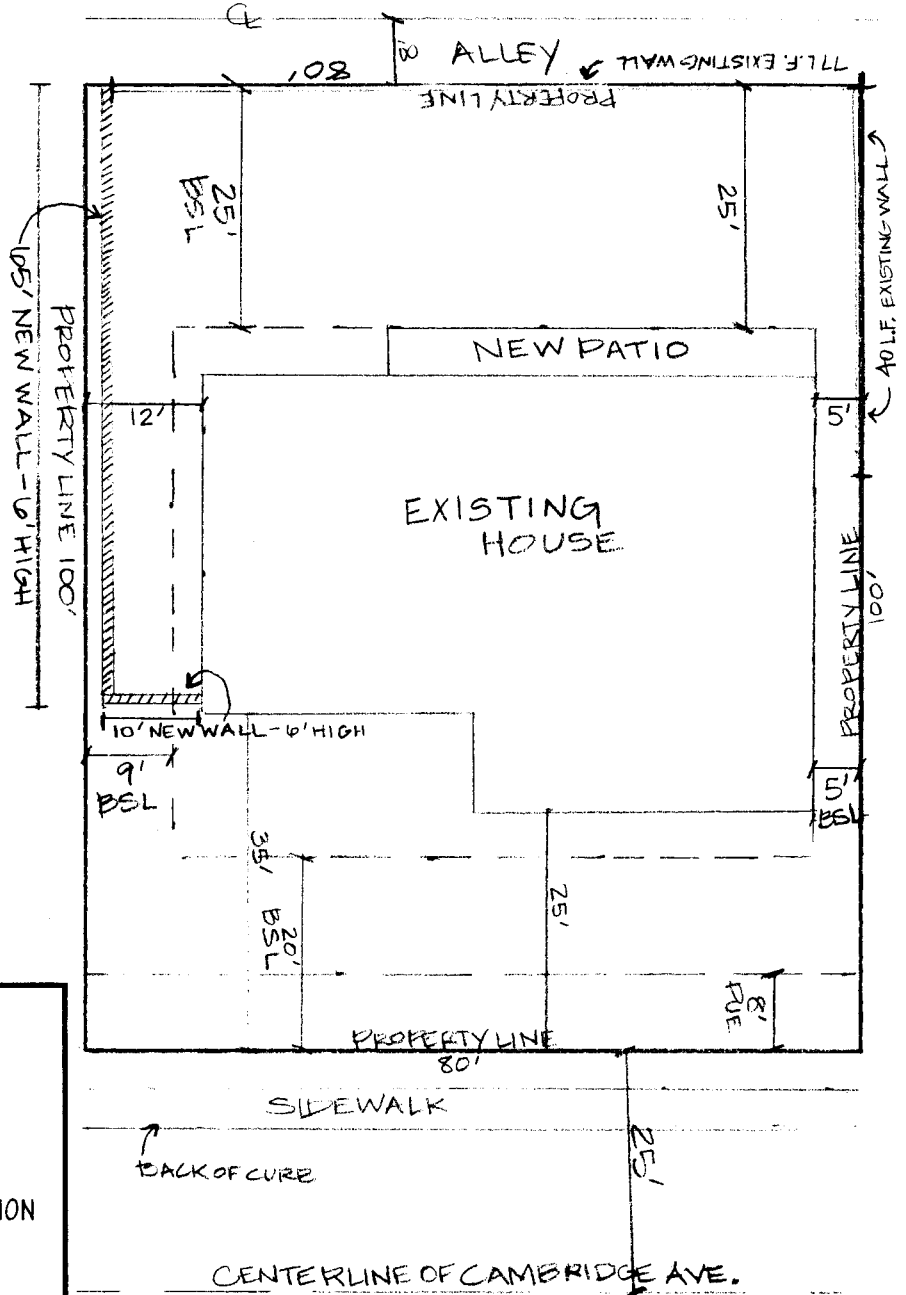
LOT AREA:

TOTAL EXISTING SQ FT: 2,631

PROPOSED:

NEW PATIO: 225 SQ FT

NEW WALL: 75 LINEAL FT



## PLEASE NOTE:

- SITE PLAN MUST MATCH CONFIGURATION FOR YOUR LOT AND MUST BE SCALED
- IF PROPOSED WALL IS ON THE PROPERTY LINE, MUST PROVIDE NEIGHBORING PROPERTY OWNER WRITTEN AUTHORIZATION
- IF PROPOSED WALL IS IN A PUBLIC UTILITY EASEMENT, WRITTEN AUTHORIZATION IS REQUIRED FROM ALL UTILITY COMPANIES

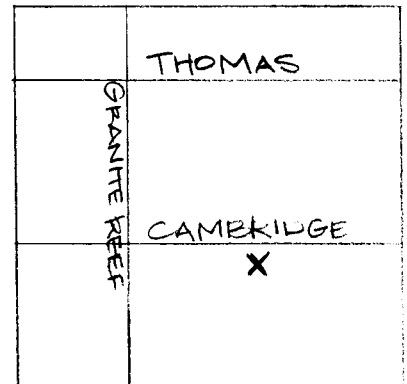
PROVIDE 3 COPIES OF SITE PLAN

WEBSITES FOR REFERENCE:

<http://eservices.scottsdaleaz.gov/dmc/liw.aspx>

<http://www.maricopa.gov/asseessor/>

SCALE  
1"=20'



Community Number	Panel Number	Panel Date	Suffix	FIRM Date	FIRM Zone	Base Flood Elevation (AO Zone, use depth)
045012	21600	9/30/05	F	9/30/05	X	N/A

Questions? 480-312-2500



# Planning Site Plan Checklist

## Over-the-counter Reviews Only

Site plan must show entire lot and be to scale. Examples of acceptable scales are 1"=10', 1"=20', and 1/8"=1'. Site plan must be legible and scale shall accurately reflect parcel configuration. Provide three copies of site plan. *Site plans for walls alone shall be required to provide only the items listed with an asterisk (\*).*

### WALLS ONLY

- ☐ \*Provide Zoning
- ☐ \*Site address, assessor's parcel number (APN), Q.S., lot & subdivision
- ☐ \*North arrow
- ☐ \*Written and graphic scale
- ☐ \*Label Lot dimensions
- ☐ \*Identify street dimensions and sidewalk improvements
- ☐ \*Label and dimension all easements (represent on plan with dashed lines)
- ☐ \*Label and dimension all required setbacks to the property line
- ☐ \*Label and dimension all proposed setbacks (property line to structure, and all distances between structures)
- ☐ \*Include FEMA block. Additions that are located within a flood zone or are adjacent to washes cannot be reviewed without approval from Stormwater Management staff. This information can be obtained by calling Records dept. at 480-312-2356

### ADDITIONS

- ☐ Vicinity Map
- ☐ Net Lot Area
- ☐ Provide total square footage calculations for all existing improvements including livable area, garages, patios and detached structures
- ☐ Provide total square footage data for all proposed additions
- ☐ Provide all wall and retaining wall heights, both existing and proposed by elevation or footage; provide means to convey drainage through wall/fence as required
- ☐ Retaining walls need approval by engineering
- ☐ Identify lowest floor elevations on plan (88 Datum) (If attached bldg dept. checks it matches existing; if detached, planning dept. checks, see engineering for approval)
- ☐ Provide three top of curb elevations to verify building height compliance (If no curb, provide edge of road/pavement)
- ☐ Call out height and/or elevation of roof parapets and ridges on the elevation sheet
- ☐ NOTE: All exterior light fixtures which contain light bulbs of 100 watts or greater shall be fully shielded and directed downward.
- ☐ NOTE: All mechanical equipment (air condition, pool equip. etc.) shall be screened a min. of 1' above the highest portion of the equipment from all sides and shall be compatible with adjacent building. Show the location on the site plan.
- ☐ NOTE: Guesthouse shall never be offered for rent. Guest homes on lots under 35,000 sq. ft. may not provide cooking facilities.
- ☐ Comply with the City of Scottsdale Native Plant Ordinance. Show location of all protected species on the site plan. Provide native plant inventory as performed by a City of Scottsdale approved salvage contractor. Identify name of salvage contractor. If no protected plants exist, provide NOTE: No protected native plants will be affected by construction.

## Planning & Development Services Department

7447 E. Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088



# Fence/Wall on Common Property Line

## Neighboring Property Owner Authorization

**Authorization is required to be signed by all affected property owners.**

Applicant Name: \_\_\_\_\_  
Applicant Address: \_\_\_\_\_  
Subject Property Address: \_\_\_\_\_

***I hereby authorize my neighbor (above) to construct a fence/wall on our common property line.  
I acknowledge that the construction of such wall will require footings that extend into my  
property and that workers will require access to my property during construction.***

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Neighbor Name (please print): \_\_\_\_\_  
Neighboring Property Address: \_\_\_\_\_  
Neighbor Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Maintenance of the fence/wall will be the responsibility of:

- ☐ Both property owners jointly  
☐ Solely the responsibility of: \_\_\_\_\_

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Neighbor Name (please print): \_\_\_\_\_  
Neighboring Property Address: \_\_\_\_\_  
Neighbor Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Maintenance of the fence/wall will be the responsibility of:

- ☐ Both property owners jointly  
☐ Solely the responsibility of: \_\_\_\_\_

-----  
Neighbor Name (please print): \_\_\_\_\_  
Neighboring Property Address: \_\_\_\_\_  
Neighbor Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Maintenance of the fence/wall will be the responsibility of:

- ☐ Both property owners jointly  
☐ Solely the responsibility of: \_\_\_\_\_

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### Utility Provider Contact Information

**If wall/fence is proposed within a public utility easement, written authorization is required from each of the following service providers:**

Utility Company	Contact	Phone	Fax	E-Mail
APS	Michael Bouche	602-371-7033	602-371-6586	michael.bouche@aps.com
SRP	Matt Streeper	602-236-3105	602-236-8193	matt.streeper@srpnet.com
Century Link	Chris Lertique	602-630-1825	480-630-1715	bics@centurylink.com
City Water Dept.	Doug Mann	480-312-5636	480-312-5615	dmann@scottsdaleaz.gov
Cox Communications	Traffic Management Center	623-328-3554	623-322-7500	phx.tmc@cox.com
Southwest Gas	Greg Cooper	602-484-5276	866-747-1155	greg.cooper@swgas.com

Updated July 2014

## FEMA BLOCK

In accordance with FEMA and City requirements, the following information must be included on the cover sheet of all plans which establish lowest floor elevations and flood-proofing elevations for both residential and non-residential structures.

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### FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

Community Number	Panel Number	Panel Date	Suffix	FIRM Date	FIRM Zone	Base Flood Elevation (AO Zone, use depth)
045012						

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Engineer's Certification:

The lowest floor elevation(s) and/or flood-proofing elevation(s) on this plan are sufficiently high to provide protection from flooding caused by a one hundred year storm, and are in accordance with City of Scottsdale Revised Code, Chapter 37- Floodways & Floodplains Ordinance.

### \* PLEASE NOTE \*

From the Code of Federal Rules- 44CFR 65.2 Certification of data is a statement that the data is accurate to the best of the certifier's knowledge.

\* Certification analysis is a statement that the analysis have been performed correctly and in accordance with sound engineering practices.

\* Certification of structural works is a statement that the works are designed in accordance with sound engineering practices to provide protection from the base flood.

\* Certification of "as built" conditions is a statement that the structure(s) has been built according to the plans being certified is in place and is fully functioning.

- THIS DETAIL SHALL APPLY TO WALLS 6'-0" OR LESS IN HEIGHT.
- SEPARATE APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED.
- SEPARATE APPROVAL BY THE STORMWATER DEPARTMENT IS REQUIRED.
- INDICATE DRAIN BLOCKS AT FINISH GRADE, AS REQUIRED, ON FINAL PLANS.
- THE CITY OF SCOTTSDALE MAKES NO REPRESENTATIONS AND ASSUMES NO RESPONSIBILITY OR LIABILITY IN PROVIDING THIS STANDARD DETAIL. OWNERS/APPLICANTS AND PROFESSIONALS USING THIS DETAIL SHALL ASSUME FULL RESPONSIBILITY FOR ITS DESIGN.
- OWNERS/APPLICANTS ARE ENCOURAGED TO CONSULT WITH A PROFESSIONAL ENGINEER OR ARCHITECT LICENSED BY THE STATE OF ARIZONA REGARDING THE NEEDS FOR THEIR PROJECT. AN ENGINEER OR ARCHITECT LICENSED BY THE STATE OF ARIZONA COULD DETERMINE DIFFERENT DETAILS OR SPECIFICATIONS.
- OWNER/APPLICANT/BUILDER IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS AT THE FOOTING'S BEARING SURFACE AND IS SOLELY RESPONSIBLE FOR THE PERFORMANCE OF FOOTING.

## 4" MASONRY WALL

### "DOOLEY WALL"

### MATERIALS

CMU:  $f_m = 1500$  psi  
NORMAL WEIGHT

MORTAR: ASTM TYPE S

GROUT:  $f'_c = 2000$  psi

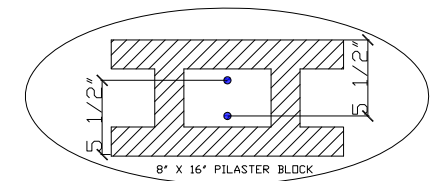
REINFORCING:  $f_y = 40,000$  psi

CONCRETE: 2500psi

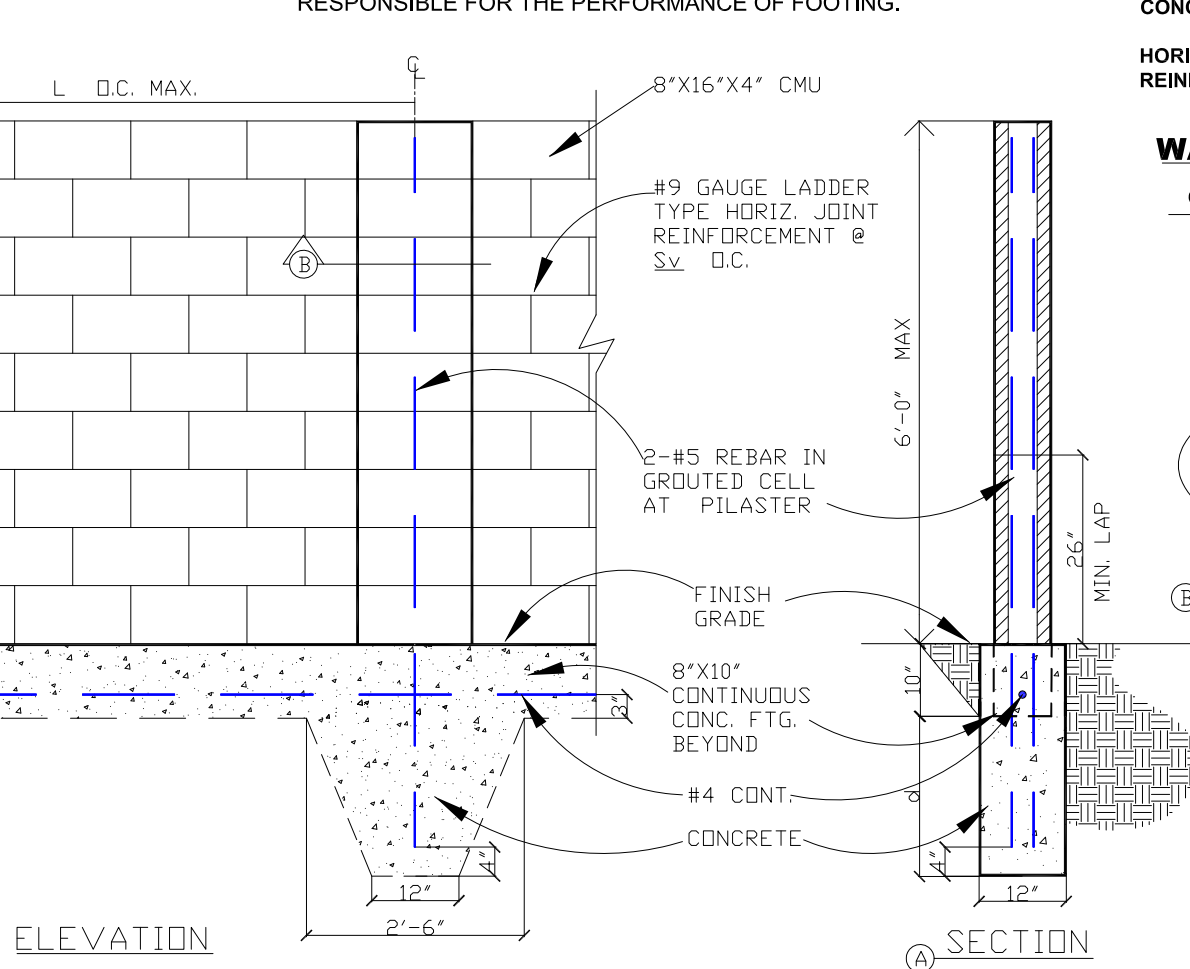
HORIZONTAL JOINT  
REINFORCEMENT:  $f_y = 80,000$  psi

### WALL DESIGN OPTIONS

OPTION	L	Sv	d
A	9'-4"	8"	4'
B	8'-0"	16"	3'-6"



(B) CROSS SECTION AT PILASTER



Revised:  
6/1/2009



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## 6" MASONRY WALL PER 2006 IBC

WIND LOAD: 15 psf per ASCE 7-05

CMU:  $f'_m = 1350$  psi

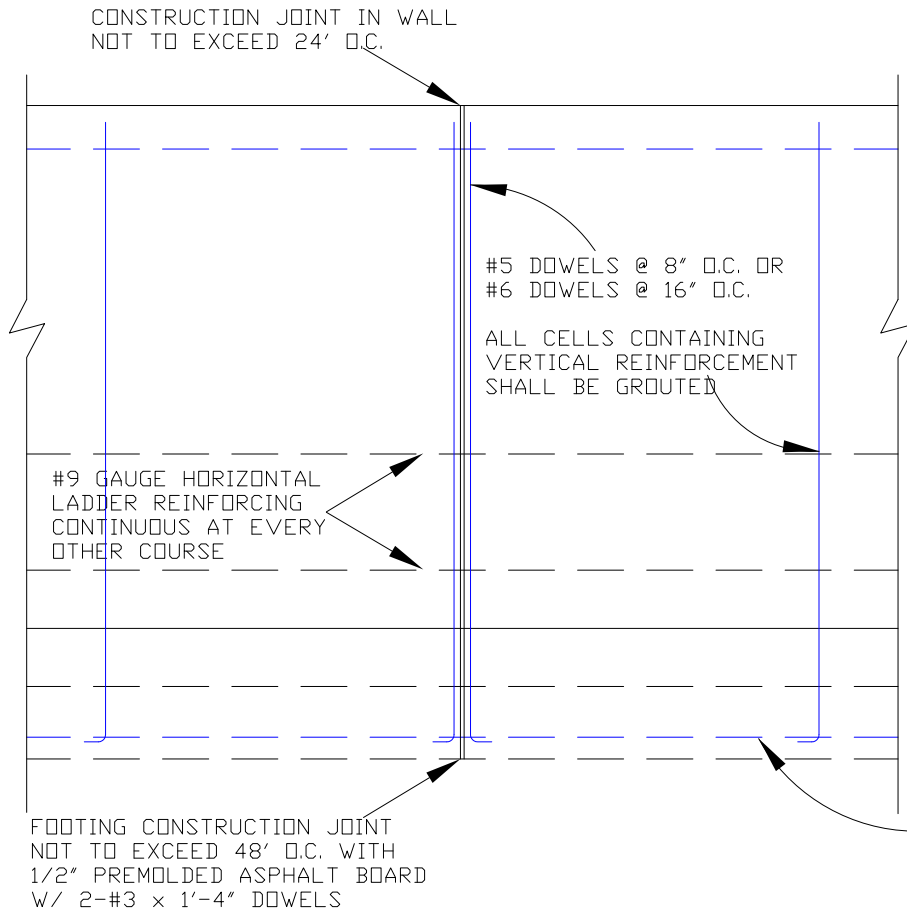
MORTAR: ASTM TYPE S

GROUT:  $f'_c = 2000$  psi

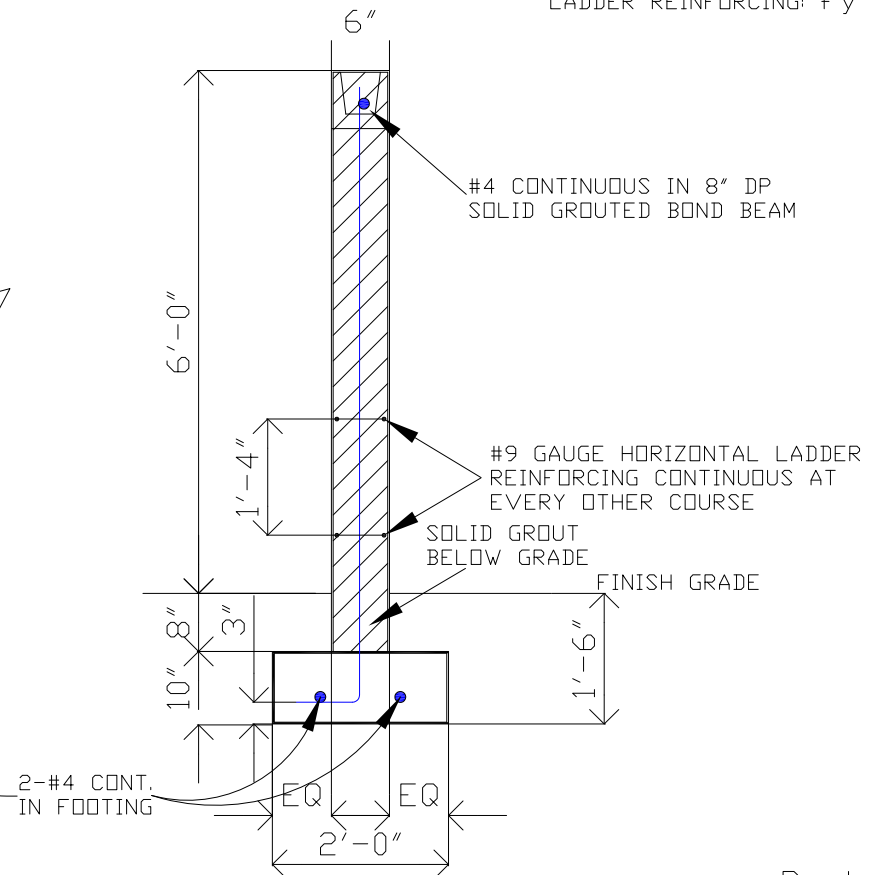
REINFORCING:  $f'_y = 40,000$  psi

CONCRETE: 2000psi

LADDER REINFORCING:  $f'_y = 80,000$  psi



ELEVATION



SECTION

Revised:  
2/17/2009

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## 8" MASONRY WALL PER 2006 IBC

WIND LOAD: 15 psf per ASCE 7-05

CMU:  $f'_m = 1350$  psi

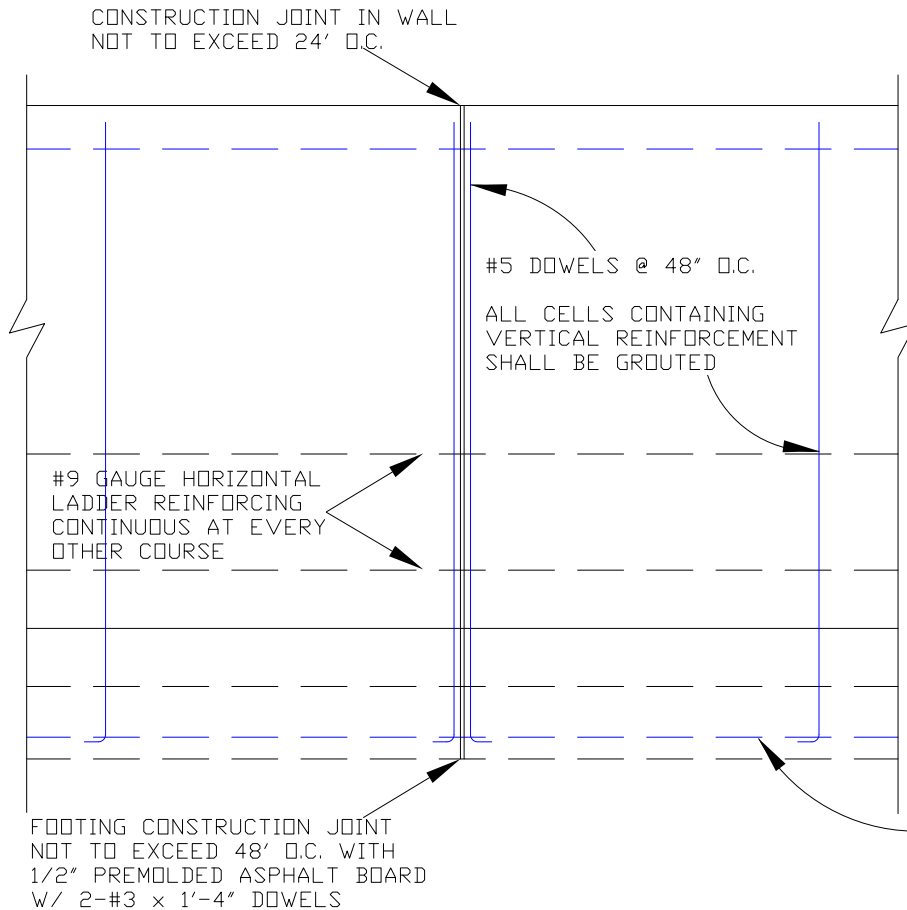
MORTAR: ASTM TYPE S

GROUT:  $f'_c = 2000$  psi

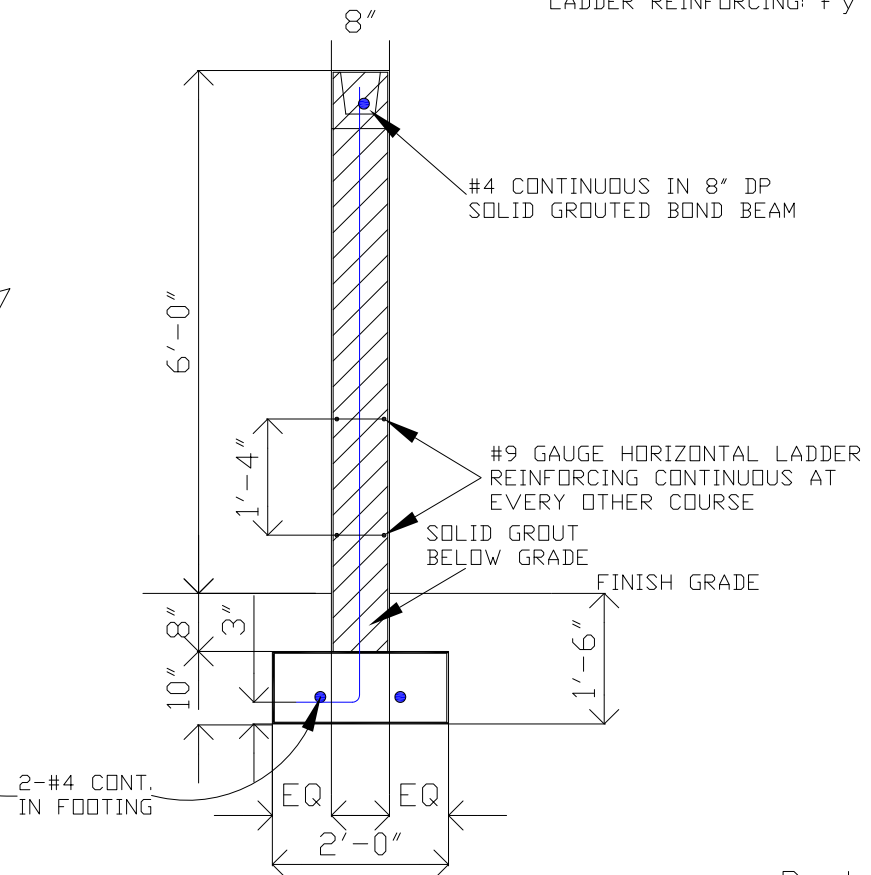
REINFORCING:  $f'_y = 40,000$  psi

CONCRETE: 2000psi

LADDER REINFORCING:  $f'_y = 80,000$  psi



ELEVATION



SECTION

Revised:  
2/17/2009



# Application for Permitting

All Project Types - Excludes Demo, Fire, Pools & Backflow Preventer

**\*PROJECT ADDRESS:** \_\_\_\_\_ Suite # \_\_\_\_\_ Unit # \_\_\_\_\_

Subdivision: \_\_\_\_\_ Lot #: \_\_\_\_\_

Zoning District(s): \_\_\_\_\_ Parcel Number(s): \_\_\_\_\_

Quarter Section(s): \_\_\_\_\_ Flood Zone(s): \_\_\_\_\_

**\*PROJECT NAME:** \_\_\_\_\_

**\*Associated Plan/Case Numbers** \_\_\_\_\_ (If Applicable)

**\*PERMIT/PLAN TYPE:**

(Check all that apply) **Revision to Approved Plan?** ☐ Yes ☐ No **Green Building Program?** ☐ Yes ☐ No

**SINGLE FAMILY RESIDENTIAL:**

☐ New SFR ☐ Remodel ☐ Addition ☐ New SFR Standard ☐ Guest House ☐ New Fence/Wall

**Minimum:** ☐ Mechanical ☐ Plumbing ☐ Electrical ☐ Building ☐ Combo

**COMMERCIAL:** ☐ New Commercial ☐ New Shell ☐ Tenant Improvement ☐ Addition

☐ Interior Remodel ☐ Exterior Remodel ☐ Interior & Exterior Remodel ☐ New Fence/Wall

**Minimum:** ☐ Electrical ☐ Building ☐ Mechanical ☐ Plumbing ☐ Combo

**CIVIL: Number of Sheets** \_\_\_\_\_

☐ Grading ☐ Drainage ☐ Water ☐ Sewer ☐ Paving ☐ Concrete

☐ Utilities ☐ Landscaping/Misc. ☐ Misc Row Encroachment ☐ WCF Cellular

**MULTI FAMILY: Number of Units** \_\_\_\_\_ ☐ Apartment ☐ Condominium ☐ Townhouse

**LAND DIVISION/MAP OF DEDICATION: Number of Sheets** \_\_\_\_\_

☐ Final Plat ☐ Minor Subdivision ☐ Revision

☐ Full Subdivision ☐ Easements & ROW MOD ☐ Condo Plat

**\*Scope of work:** \_\_\_\_\_

**\*PROJECT SQ FOOTAGE COMMERCIAL & RESIDENTIAL:** Lot Sq Ft \_\_\_\_\_ NAOS Sq Ft \_\_\_\_\_

New A/C \_\_\_\_\_ New Non A/C \_\_\_\_\_ Remodel A/C \_\_\_\_\_ Remodel Non A/C \_\_\_\_\_

Addition A/C \_\_\_\_\_ Addition Non A/C \_\_\_\_\_ Fence LF \_\_\_\_\_ Retaining Wall LF \_\_\_\_\_

Guest House A/C \_\_\_\_\_ Guest House Non A/C \_\_\_\_\_

**\*PROJECT DETAILS COMMERCIAL:** Occupant Type \_\_\_\_\_ Construction Type \_\_\_\_\_ Occupant Load \_\_\_\_\_

## Planning and Development Services

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# Application for Permitting

All Project Types - Excludes Demo, Fire, Pools & Backflow Preventer

**\*Property Owner:** \_\_\_\_\_  
Address: \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

**Contractor:** \_\_\_\_\_  
Address: \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_  
Roc# \_\_\_\_\_ COS Tax License# \_\_\_\_\_

**Architect:** \_\_\_\_\_  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

**Civil Engineer:** \_\_\_\_\_  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

The property owner shall designate an agent as the applicant for the project

**PLANS & PERMITS WILL ONLY BE RELEASED TO THE PERSON(S) LISTED AS THE APPLICANT CONTACT BELOW. ANY PERSONS NOT LISTED AS CONTACT WILL REQUIRE AUTHORIZATION LETTER FROM THE CONTACT PERSON LISTED.**

**\*Applicant Contact:** \_\_\_\_\_ Company: \_\_\_\_\_

**\*E-mail:** \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Address: \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

**\*Others authorized to pick up plans & permits:** \_\_\_\_\_

I (the undersigned) understand and agree that the issuance of the permit for which I am applying does not relieve me of the responsibility that this work will be done in conformity with the laws of the City of Scottsdale, Maricopa County and the State of Arizona. I further agree that the Scottsdale Inspections Division has the authority to enforce adopted building codes and appropriate State, County and City laws and regulations not indicated on the construction documents. I acknowledge that this application will expire 180 days after the last plan submittal.

\_\_\_\_\_  
\*Owner Signature Date OR \_\_\_\_\_  
\*Applicant Signature Date

## Planning and Development Services

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